



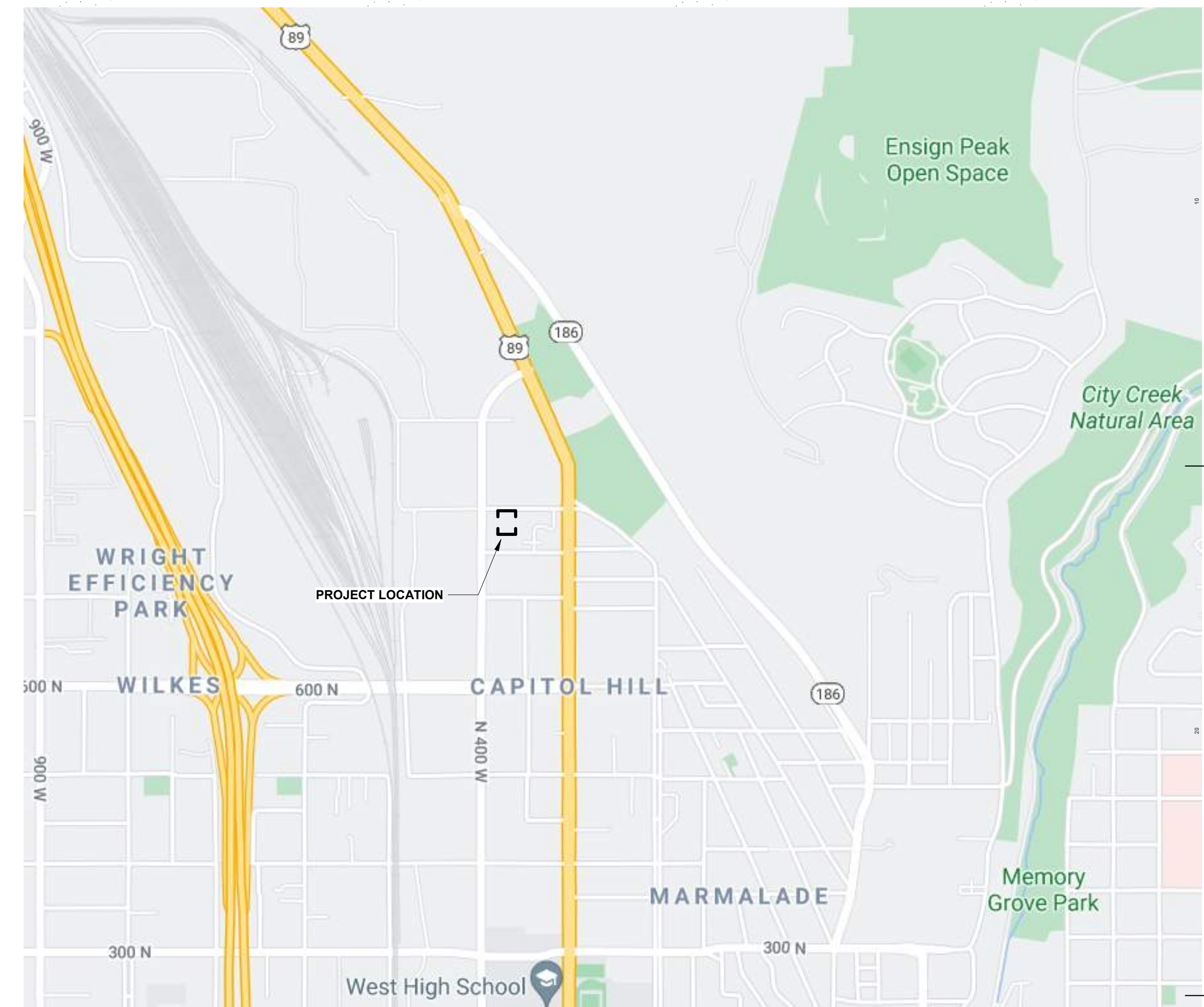
# LARADEAN TOWNHOMES

No.	Date	Description

PROFESSIONAL SEAL:

OWNER: SLAP, RE  
PROJECT ADDRESS: 355 W 800 N  
SALT LAKE CITY, UT 84103  
ARCH PROJECT #: 21-35  
A.O.A.: JDH  
PHASE: PLANNING SUBMISSION  
PUBLISH DATE: 13 AUGUST, 2021  
SHEET SCALE:  
SHEET NAME:

3D VIEWS



VICINITY MAP  
NTS

**ZONING ANALYSIS**

**ZONING JURISDICTION:** SALT LAKE CITY  
**ZONE:** MU - MIXED USE

**SETBACKS:**  
FRONT YARD 10'  
SIDE YARD 10'  
REAR YARD 15'

	REQ'D	PROPOSED
MAX BUILDING HEIGHT	45'	45'
MAXIMUM BLDG COVERAGE	80%	50.2%
MINIMUM LANDSCAPE AREA	20%	21.7%

**PARKING:**  
MINIMUM PARKING SPACES 7 SPACES 7 SPACES  
MAXIMUM PARKING SPACES N/A SPACES 7 SPACES  
TABLE 21A.44.030

ADA PARKING SECTION 21A.44.020 1 SPACES 1 SPACES

BICYCLE PARKING SECTION 21A.44.50.B.3 2 SPACES 14 SPACES

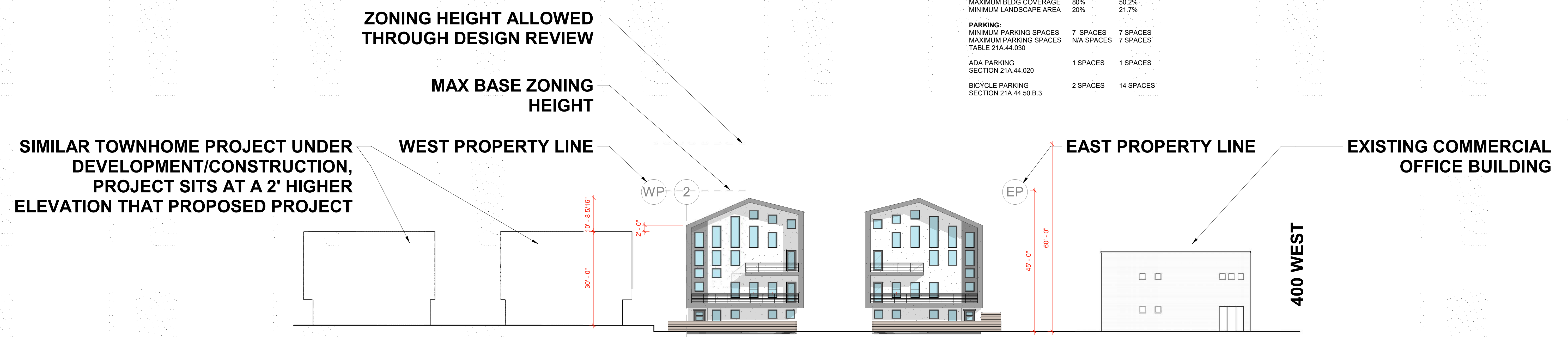
**SHEET INDEX.**

A0	3D VIEWS
A1	GENERAL INFORMATION
A2	SITE PLAN
A3	FLOOR PLANS
A4	ELEVATIONS
5	
Grand total: 5	

**LARADEAN  
TOWNHOMES**

No.	Date	Description

PROFESSIONAL SEAL:



ZONING HEIGHT ALLOWED THROUGH DESIGN REVIEW

MAX BASE ZONING HEIGHT

SIMILAR TOWNHOME PROJECT UNDER DEVELOPMENT/CONSTRUCTION, PROJECT SITS AT A 2' HIGHER ELEVATION THAT PROPOSED PROJECT

WEST PROPERTY LINE

EAST PROPERTY LINE

EXISTING COMMERCIAL OFFICE BUILDING

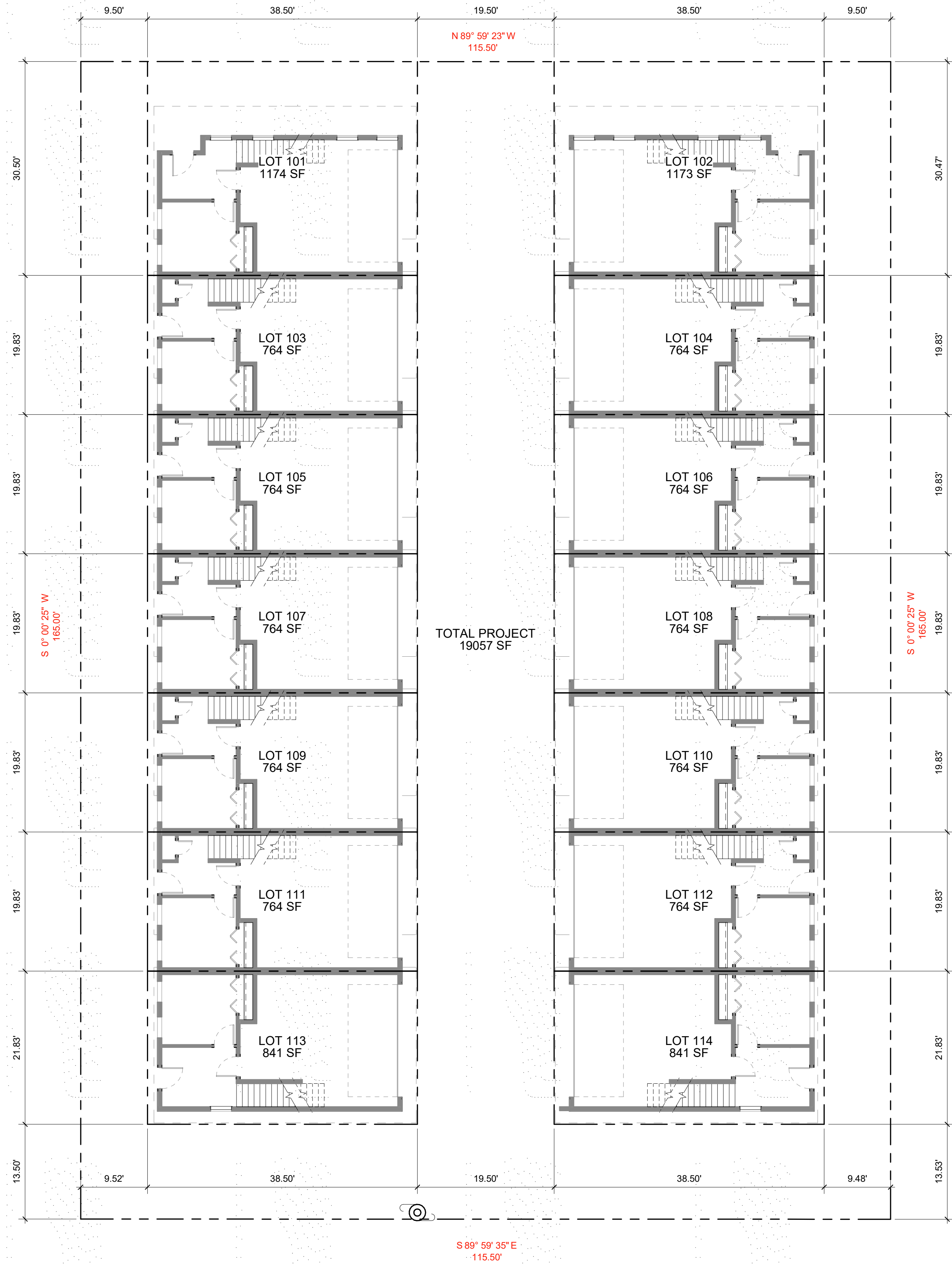
400 WEST

1 SITE ELEVATION  
1/16" = 1'-0"

OWNER: SLAP, RE  
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PUBLISH DATE: 13 AUGUST, 2021  
SHEET SCALE: As indicated  
SHEET NAME: GENERAL INFORMATION

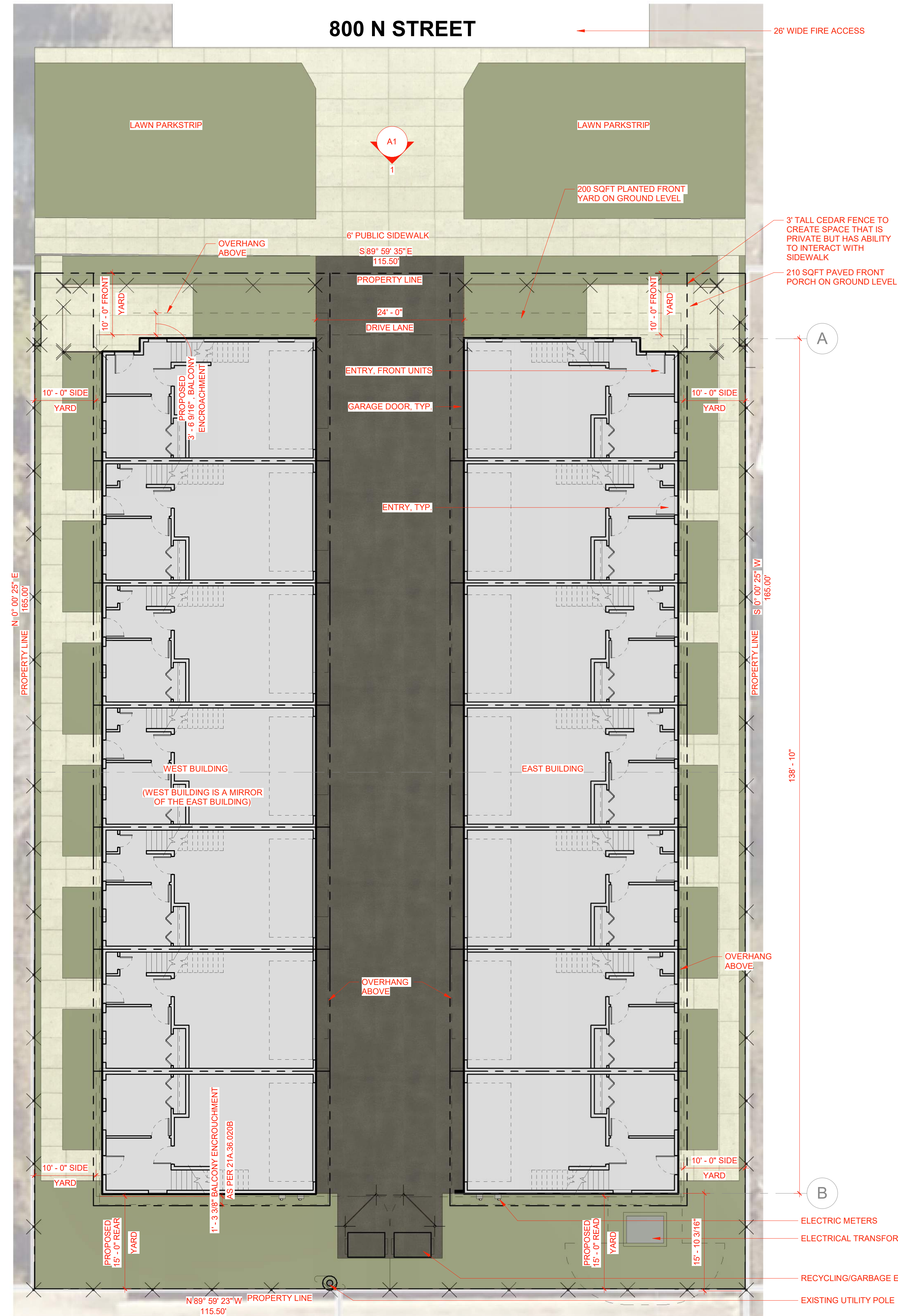
**PARKING**

TYPE	COUNT
GARAGE (REQUIRED: 14)	14



2 PARCEL PLAN  
1" = 10'-0"

**800 N STREET**



1 SITE PLAN  
1" = 10'-0"



**LARADEAN TOWNHOMES**

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SHEET SCALE: 1" = 10'-0"  
SHEET NAME: SITE PLAN

**UNIT MIX**

UNIT TYPE	COUNT	% BY # OF UNITS	% BY AREA
Unit A	19	90.5%	86.0%
Unit B	2	9.5%	14.0%
Grand total	21		

**KEYNOTES**

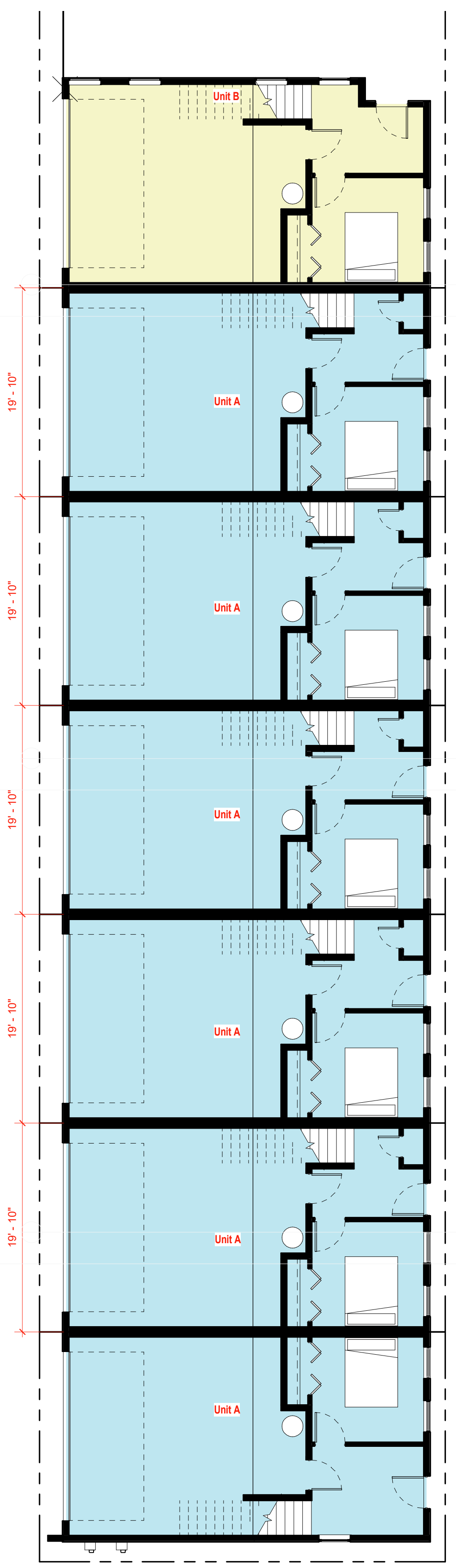
**LARADEAN  
TOWNHOMES**

No.	Date	Description

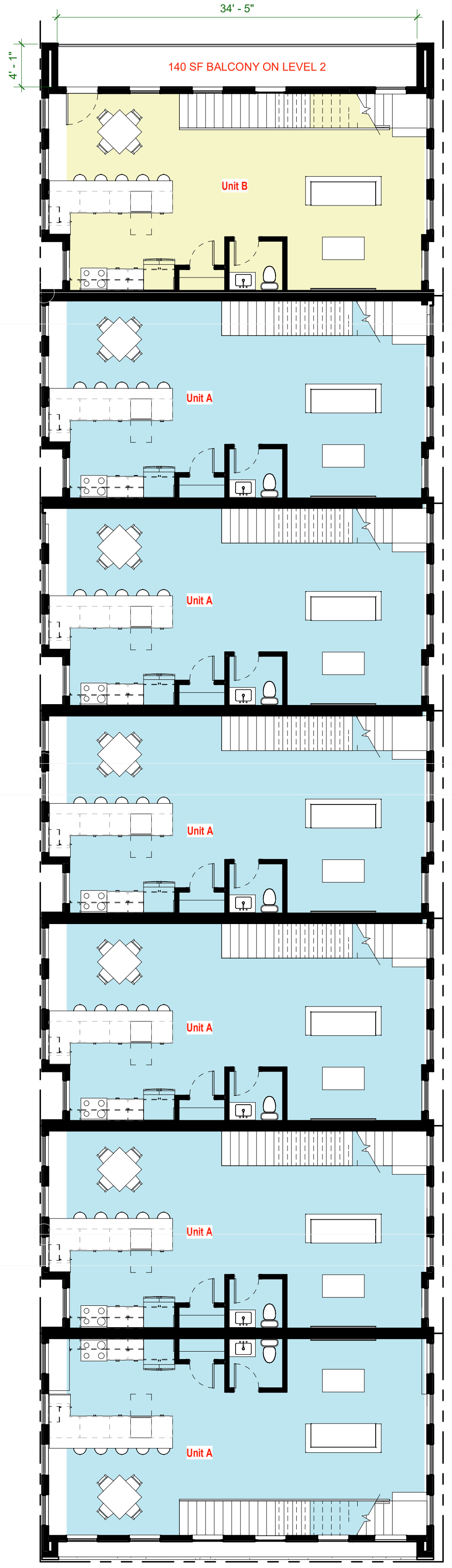
PROFESSIONAL SEAL:

OWNER: SLAP, RE  
PROJECT ADDRESS: 355 W 800 N  
SALT LAKE CITY, UT 84103  
ARCH PROJECT #: 21-35  
A.C.A.: JDH  
PHASE: PLANNING SUBMISSION  
PUBLISH DATE: 13 AUGUST, 2021  
SHEET SCALE: 1/8" = 1'-0"  
SHEET NAME:

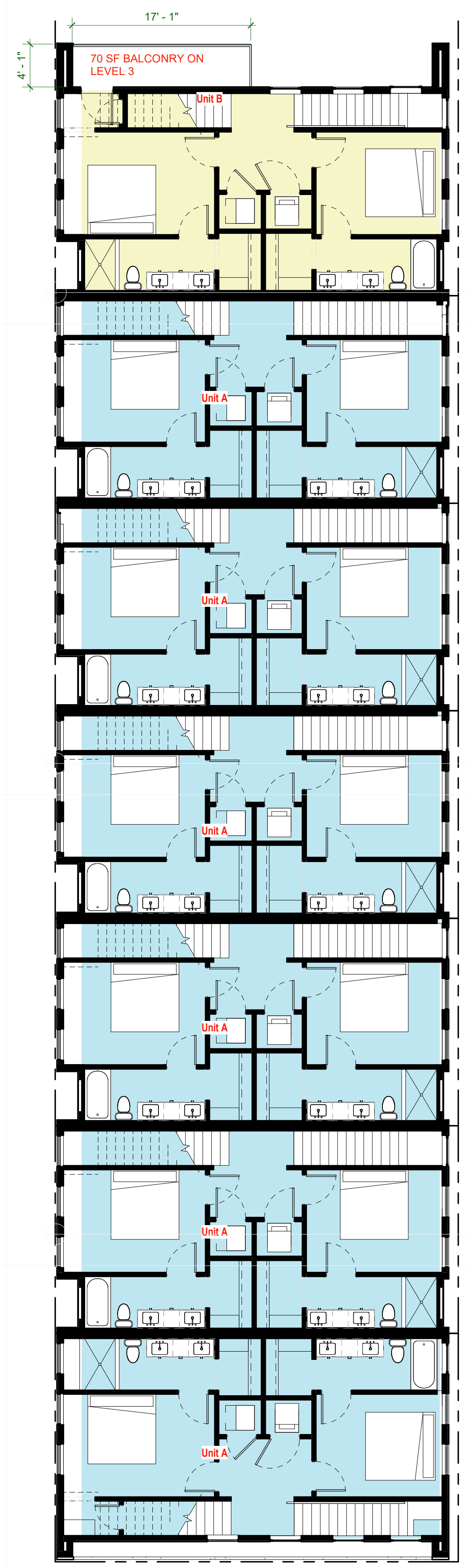
**FLOOR PLANS**



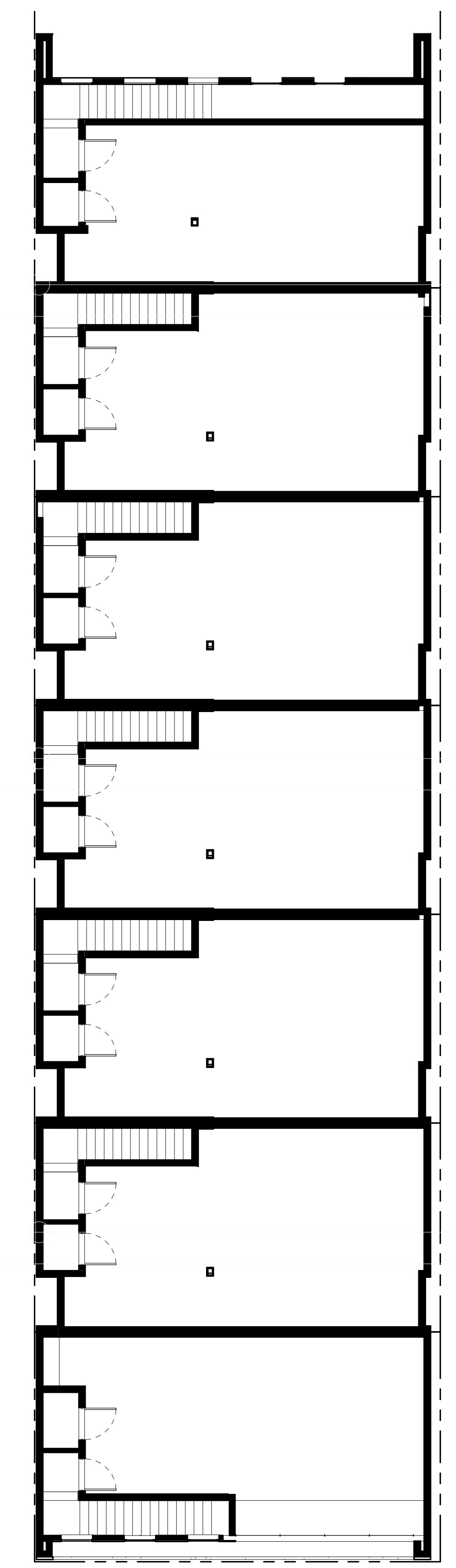
1 LEVEL 1 PLAN - PLANNING  
1/8" = 1'-0"  
0' 4' 8' 16'



2 LEVEL 2 PLAN - PLANNING  
1/8" = 1'-0"  
0' 4' 8' 16'



3 LEVEL 3 PLAN - PLANNING  
1/8" = 1'-0"  
0' 4' 8' 16'



4 ROOF PLAN - PLANNING  
1/8" = 1'-0"  
0' 4' 8' 16'

# SALT LAKE CITY REQUIRED DESIGN STANDARDS

TABLE 21A.37.060  
ZONE: MU - MIXED USE

GLASS: GROUND FLOOR (%)  
40% - 15% (REDUCTION) = 25% REQUIRED  
25% PROVIDED

BUILDING ENTRANCES  
(2) STREET FACING FACADES = (2) OPERABLE BUILDING ENTRANCES REQUIRED  
(2) OPERABLE BUILDING ENTRANCES PROVIDED

BLANK WALL: MAXIMUM LENGTH (FEET)  
15' BLANK WALL MAXIMUM REQUIRED  
1.5' BLANK WALL MAXIMUM PROVIDED

LIGHTING: EXTERIOR  
All exterior lighting shall be shielded and directed down to prevent light trespass onto adjacent properties. Exterior lighting shall not strobe, flash or flicker.

ALL EXTERIOR LIGHTING WILL COMPLY.

LIGHTING: PARKING LOT  
If a parking lot/structure is adjacent to a residential zoning district or land use, any poles for the parking lot/structure security lighting are limited to sixteen feet (16') in height and the globe must be shielded and the lighting directed down to minimize light encroachment onto adjacent residential properties or into upper level residential units in multi-story buildings. Lightproof fencing is required adjacent to residential properties.

NO PARKING LOT LIGHTING IN THIS PROJECT

SCREENING OF MECHANICAL EQUIPMENT  
All mechanical equipment for a building shall be screened from public view and sited to minimize their visibility and impact.

ALL MECHANICAL EQUIPMENT WILL BE SCREENED.

SCREENING OF SERVICE AREAS  
Service areas, loading docks, refuse containers and similar areas shall be fully screened from public view. All screening enclosures viewable from the street shall be either incorporated into the building architecture or shall incorporate building materials and detailing compatible with the building being served. All screening devices shall be a minimum of one foot (1') higher than the object being screened, and in the case of fences and/or masonry walls the height shall not exceed eight feet (8'). Dumpsters must be located a minimum of twenty five feet (25') from any building on an adjacent lot that contains a residential dwelling or be located inside of an enclosed building or structure.

DUMPSTER ENCLOSURE IS LOCATED # FEET FROM NEAREST BUILDING ON ADJACENT LOT. DUMPSTER ENCLOSURE WILL MEET SCREENING REQUIREMENTS DESCRIBED ABOVE.

# KEYNOTES

## ELEVATION FINISHES

KEY	DESCRIPTION
S1	STUCCO, PAINTED P1 WHITE
S2	STUCCO, PAINTED P3 DARK GRAY

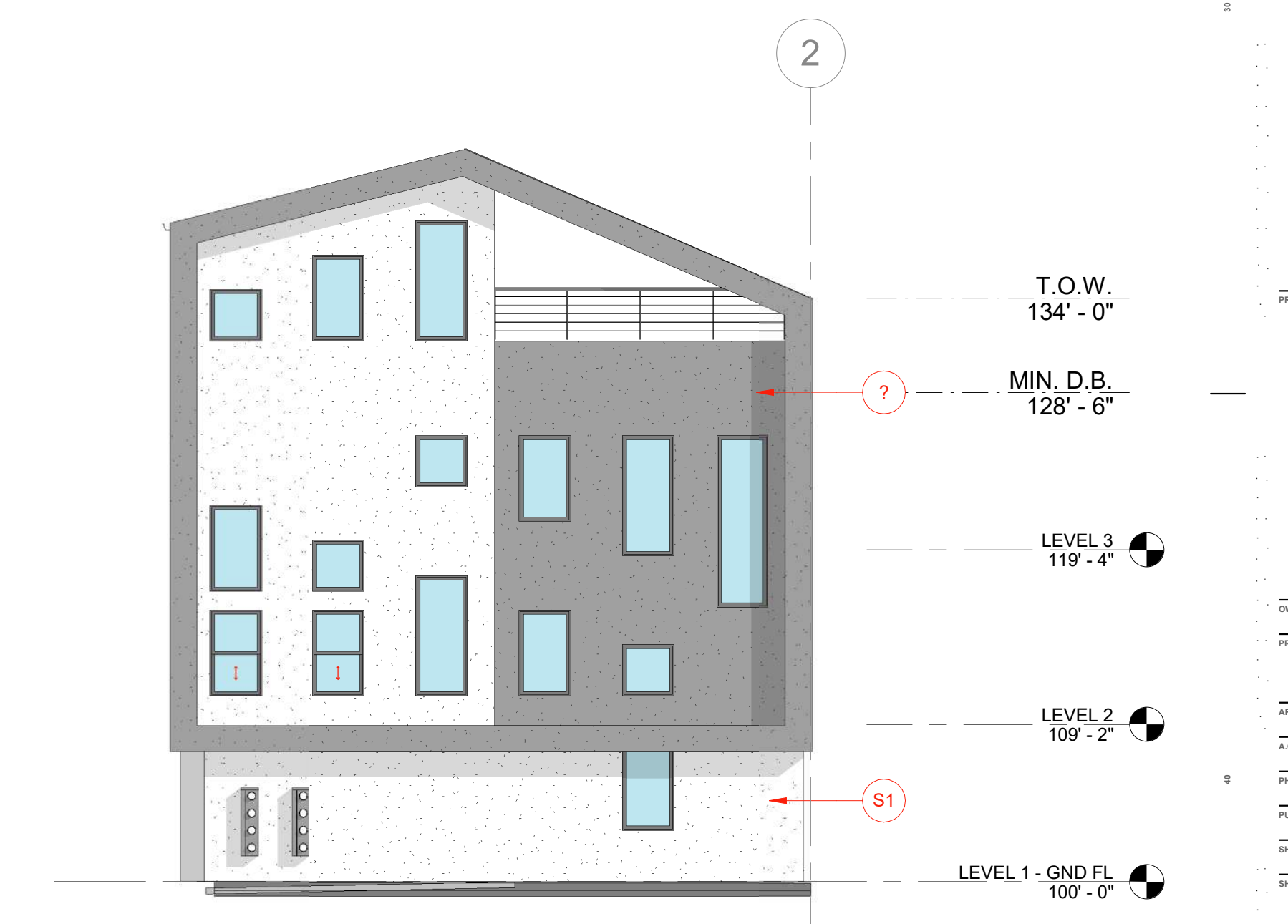
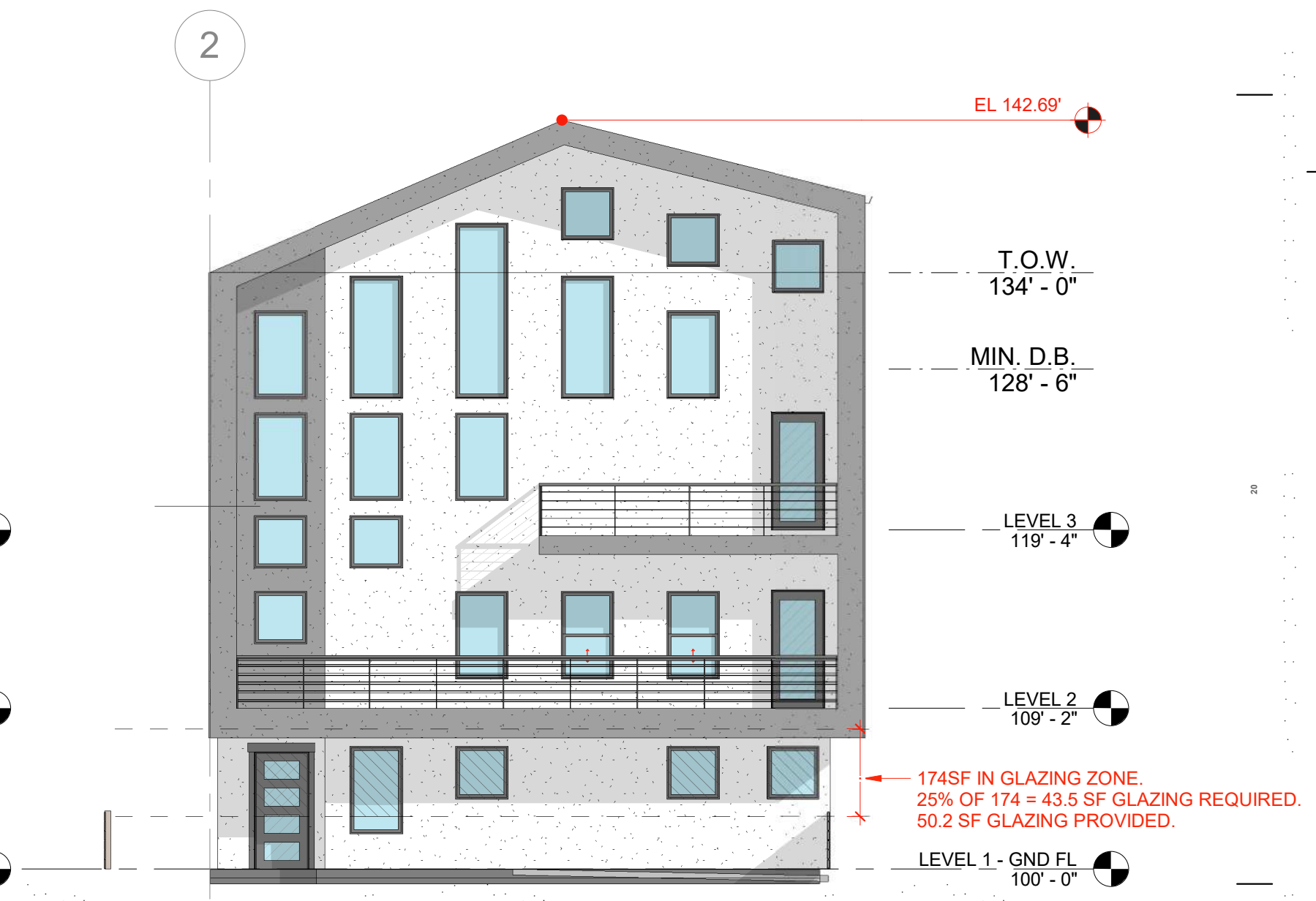


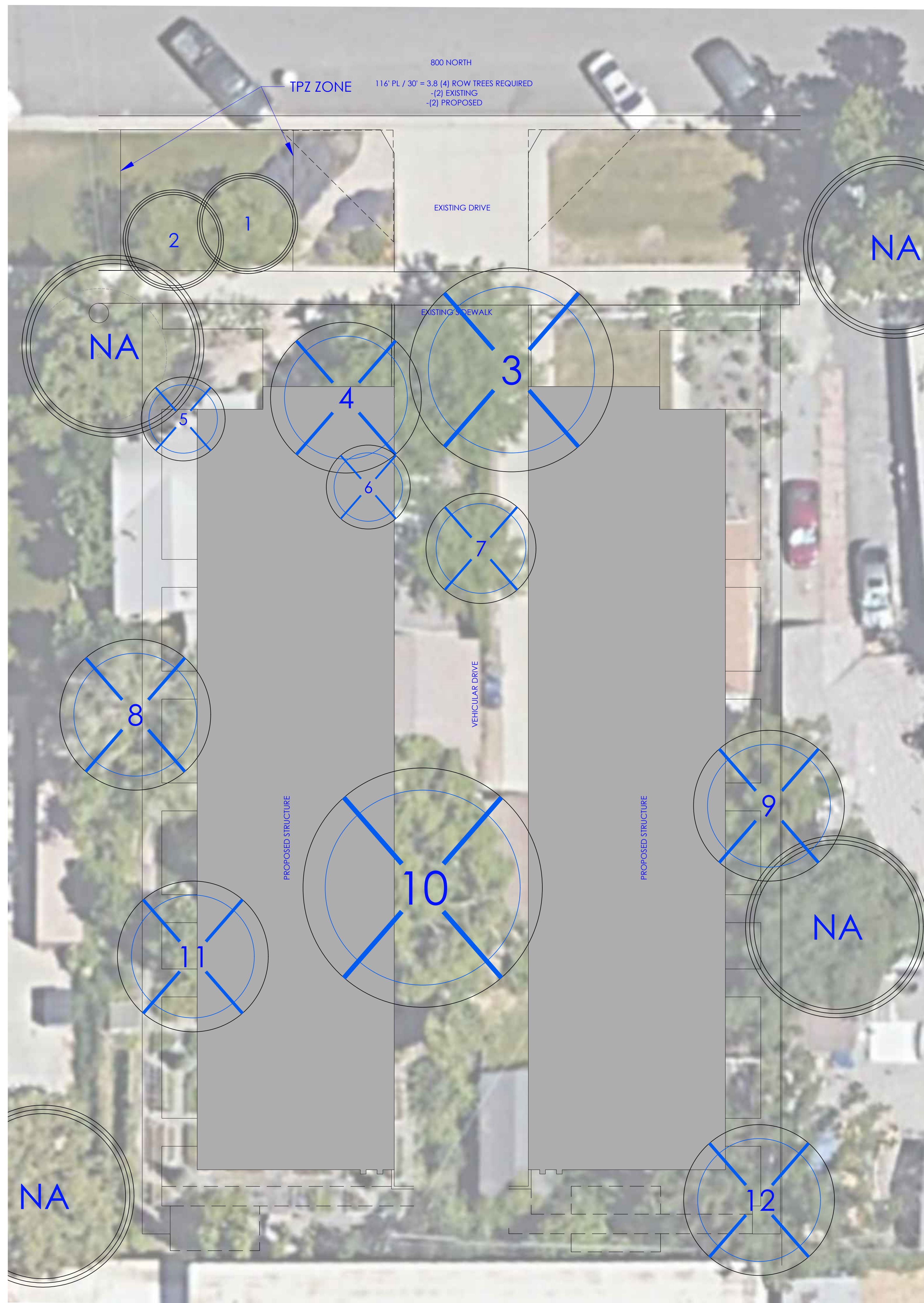
# LARADEAN TOWNHOMES

NO.	DATE	DESCRIPTION

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A.O.A.:	JDH
PHASE:	PLANNING SUBMISSION
PUBLISH DATE:	13 AUGUST, 2021
SHEET SCALE:	1/8" = 1'-0"
SHEET NAME:	ELEVATIONS





**EXISTING TREE SCHEDULE**

SYMBOL	DESCRIPTION
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO BE PROTECTED *TREES MARKED NA ARE NOT WITHIN THIS PROJECT'S SCOPE

NOTES:  
 1. NOT ALL TREES MAY BE ACCOUNTED FOR - CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY AND REMOVE ANY TREES THAT ARE NOT MARKED ON PLAN THAT ARE OF NUISANCE VARIETIES  
 2. ALL NEIGHBORING VEGETATION IS CONTRACTOR'S RESPONSIBILITY TO PROTECT IN PLACE  
 3. ALL EXISTING LANDSCAPE AREAS TO BE CLEARED AND GRUBBED

R.O.W.:  
 -(2) EXISTING TREES TO BE PRESERVED IN ROW

**EXISTING VEGETATION SCHEDULE - R.O.W.**

VEGETATION NUMBER	ACTION	TREE SPECIES	CONDITION	DBH	LOCATION	NOTE
1	PROTECT	MAACKIA AMURENSIS	GOOD	6"	PUBLIC	TO REMAIN
2	PROTECT	MAACKIA AMURENSIS	GOOD	4"	PUBLIC	TO REMAIN

ROW DBH REMOVED: 0" DBH PRESERVED: 11" NEW ROW DBH PER PLANTING PLANS: 4"

**PRIVATE LOT VEGETATION**

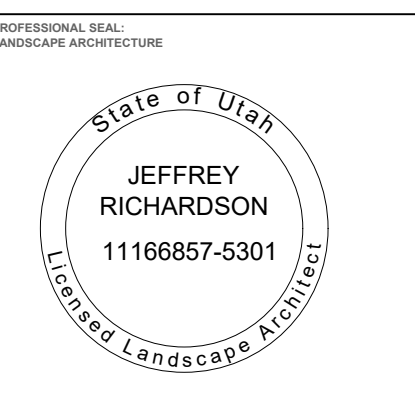
NUMBER	ACTION	TREE SPECIES	CONDITION	DBH	LOCATION
3	DEMO	ROBINIA SP.	GOOD	4"	PRIVATE
4	DEMO	MALUS SP.	FAIR	3"	PRIVATE
5	DEMO	PRUNUS SP.	GOOD	3"	PRIVATE
6	DEMO	ULMUS SP.	GOOD	6"	PRIVATE
7	DEMO	PRUNUS SP.	GOOD	2"	PRIVATE
8	DEMO	PRUNUS SP.	POOR	18"	PRIVATE
9	DEMO	FRAXINUS SP.	FAIR	4"	PRIVATE
10	DEMO	FRAXINUS SP.	GOOD	22"	PRIVATE
11	DEMO	PLATANUS SP.	GOOD	8"	PRIVATE
12	DEMO	ROBINIA SP.	POOR	16"	PRIVATE



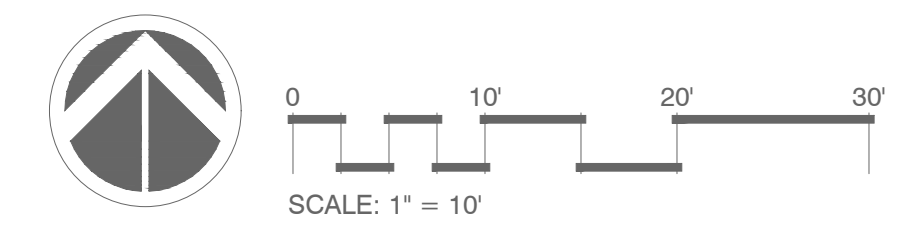
**355 W x 800 N**

REVISION	No.	Date	Description

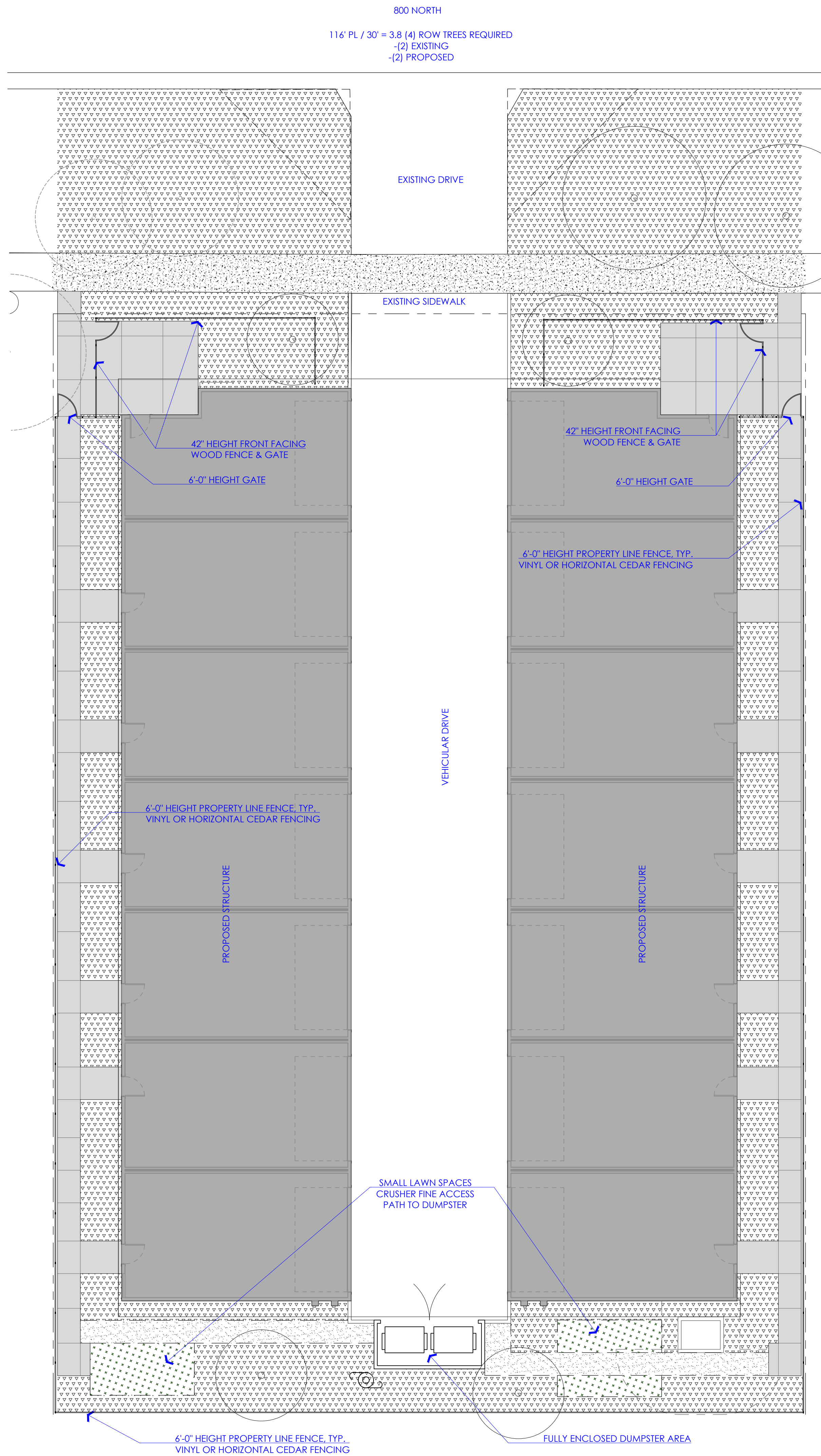
LANDSCAPE ARCHITECTURE //  
 SITE DESIGN  
 511 W. 200 S. SUITE 125  
 SLC, UTAH 84101  
 OFFICE: 801.521.2370  
 WWW.LANDFORMDESIGNGROUP.COM



OWNER: \_\_\_\_\_  
 PROJECT ADDRESS: **355 W 800 N  
 SALT LAKE CITY, UT 84103**  
 CITY PERMIT #: \_\_\_\_\_  
 ARCH PROJECT #: **XX-XX**  
 A.D.R.: **JDH**  
 PHASE: **PD REVIEW**  
 PUBLISH DATE: **13-Aug-21**  
 SHEET SCALE: **As indicated**  
 SHEET NAME: \_\_\_\_\_



EXISTING CONDITIONS  
 SHEET NUMBER: **L0-01**



**CITY OF SALT LAKE LANDSCAPE CALCULATIONS:**

**ZONE: MU (21A.32.140)**

**SITE LANDSCAPE AREAS:**

R.O.W. LANDSCAPING:	2,275 S.F.	WATER WISE PLANTS FOR SALT LAKE CITY
PRIVATE LANDSCAPING:	3,790 S.F.	DROUGHT TOLERANT SHRUBS
TOTAL:	6,065 S.F.	REQUIRED: 80%

TOTAL SITE : 19,520 S.F. (100%) PROVIDED: 100%

LANDSCAPE AREA: 3,790 S.F. (19.4%) DROUGHT TOLERANT TREES REQUIRED: 80%

TOTAL TURF AREA: 265 S.F. (6.5%) PROVIDED: 100%

TREES REQUIRED: 1/30 L.F. (116 L.F. OF STREET)  
4 SHADE TREES REQUIRED PARK STRIP

TREES PROVIDED: (2) EXISTING // (2) PROPOSED

**PARKWAY PLANTING - URBAN FORESTER REQUIREMENTS**

ALL TREES IN PUBLIC R.O.W. TO BE 2" CALLIPER - LOCATED:

- 5' from water meter and/or utility box
- 10' from fire hydrant
- 5-10' from residential driveway
- 5-10' from property line of adjoining parcel
- 5-10' from non-traffic conducting signage
- 5-10' from utility pole and/or light
- 20' from an unregulated intersection (20' back from intersecting sidewalks)
- 30' from stop signs
- 30' from commercial driveway and/or alley
- 40' from an intersection with traffic lights (40' back from intersecting sidewalks)
- 20-30' from a tree that is medium in size at maturity (30 to 50' tall)

**LANDSCAPE GENERAL NOTES**

**REGULATIONS:**

- ALL IMPROVEMENTS SHALL CONFORM TO THE GOVERNING (SALT LAKE CITY) STANDARDS AND SPECIFICATIONS
- CONTRACTOR SHALL CALL BLUE STAKES OF UTAH TO VERIFY AND NOTE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR FINAL LOCATION OF ALL UTILITIES. CONTRACTOR IS LIABLE FOR DAMAGES TO EXISTING INFRASTRUCTURE AND NEW IMPROVEMENTS

**EXISTING CONDITIONS:**

- CONTRACTOR SHALL VERIFY ALL PLANS WITH EXISTING CONDITIONS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES, CHANGES, OR ISSUES TO THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK
- ALL UTILITIES ARE SHOWN FOR REFERENCE ONLY. CIVIL PLANS SHALL TAKE PRECEDENCE AND IT IS THE RESPONSIBILITY AND LIABILITY OF THE ACTING CONTRACTOR TO PROTECT AND REPAIR ANY DAMAGES TO UTILITIES.

**SITE PREPARATION:**

- ALL LANDSCAPE AREAS TO HAVE WEEDS REMOVE AND GRUBBED WITH ALL DEBRIS MEASURING OVER 2" REMOVED
- APPLY, AS NEEDED, CERTIFIED APPLICATIONS OF HERBICIDE
- POSITIVE DRAINAGE IS TO BE MAINTAINED AWAY FROM ALL STRUCTURES
- ENGINEERING PLANS SHALL TAKE PRECEDENCE

**SOIL**

- MINIMUM OF 12" OF TOPSOIL IS REQUIRED IN ALL PLANTING AREAS
- MINIMUM OF 4" OF TOPSOIL IS REQUIRED IN ALL TURF PLANTING AREAS
- PLANTING HOLES SHALL BE DUG 2X AS WIDE AS ROOTBALL OF VEGETATION
- BACKFILL FOR SHRUB AND TREE PLANTINGS SHALL BE 80% TOPSOIL/ 20% HUMUS MATERIAL
- SOILS REPORT SHALL TAKE PRECEDENCE
  - TOPSOIL STANDARDS
    - SAND - 20%-70%
    - CLAY - 20%-70%
    - #10 SIEVE @ 15% MAXIMUM
    - PH 6 TO 8.5

**LANDSCAPE AREAS - SURFACING MATERIALS**

HATCH	DESCRIPTION	AREA SQUARE FT.
[Hatch]	CONCRETE PAVING - NATURAL GRAY / LIGHT ETCH FINISH	2,075
[Hatch]	EXISTING PUBLIC R.O.W. SIDEWALK	NA
[Hatch]	DECORATIVE ROCK MULCH: 3" DEPTH OF PERMA-BARK 1"+/- INSTALL OVER COMMERCIAL GRADE WEED BARRIER	3,205
[Hatch]	CRUSHER FINE MAINTENANCE BAND: 4" DEPTH OF COMPACTED CRUSHER FINES - INSTALL WITH STEEL EDGING RESTRAINT IN LANDSCAPE AREAS	320
[Hatch]	SODDED TURF SUCH AS BIOTURF OR APPROVED EQUAL	265

\*INSTALL ALL ROCK MULCH LEVEL WITH A MAXIMUM TOLERANCE OF 1/2" ABOVE ADJACENT PAVING, EDGING, AND PLANTER AREAS

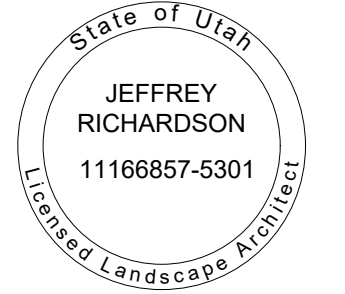
\*AREAS OF TAKEOFFS OF ENTIRE PLANTING AREA - CONTRACTOR TO ACCOUNT FOR REDUCTION IN MULCH NEEDS DUE TO PLANTING - REFER TO PLANTING PLANS. \*QUANTITIES TO BE VERIFIED BY CONTRACTOR



**355 W x 800 N**

No.	Date	Description

LANDSCAPE ARCHITECTURE //  
SITE DESIGN  
511 W. 200 S. SUITE 125  
SLC, UTAH 84101  
OFFICE: 801.521.2370  
WWW.LANDFORDESIGNGROUP.COM



OWNED: \_\_\_\_\_

PROJECT ADDRESS: **355 W 800 N SALT LAKE CITY, UT 84103**

CITY PERMIT #: \_\_\_\_\_

ARCH PROJECT #: **XX-XX**

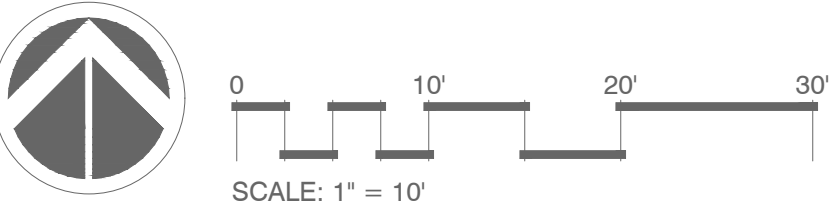
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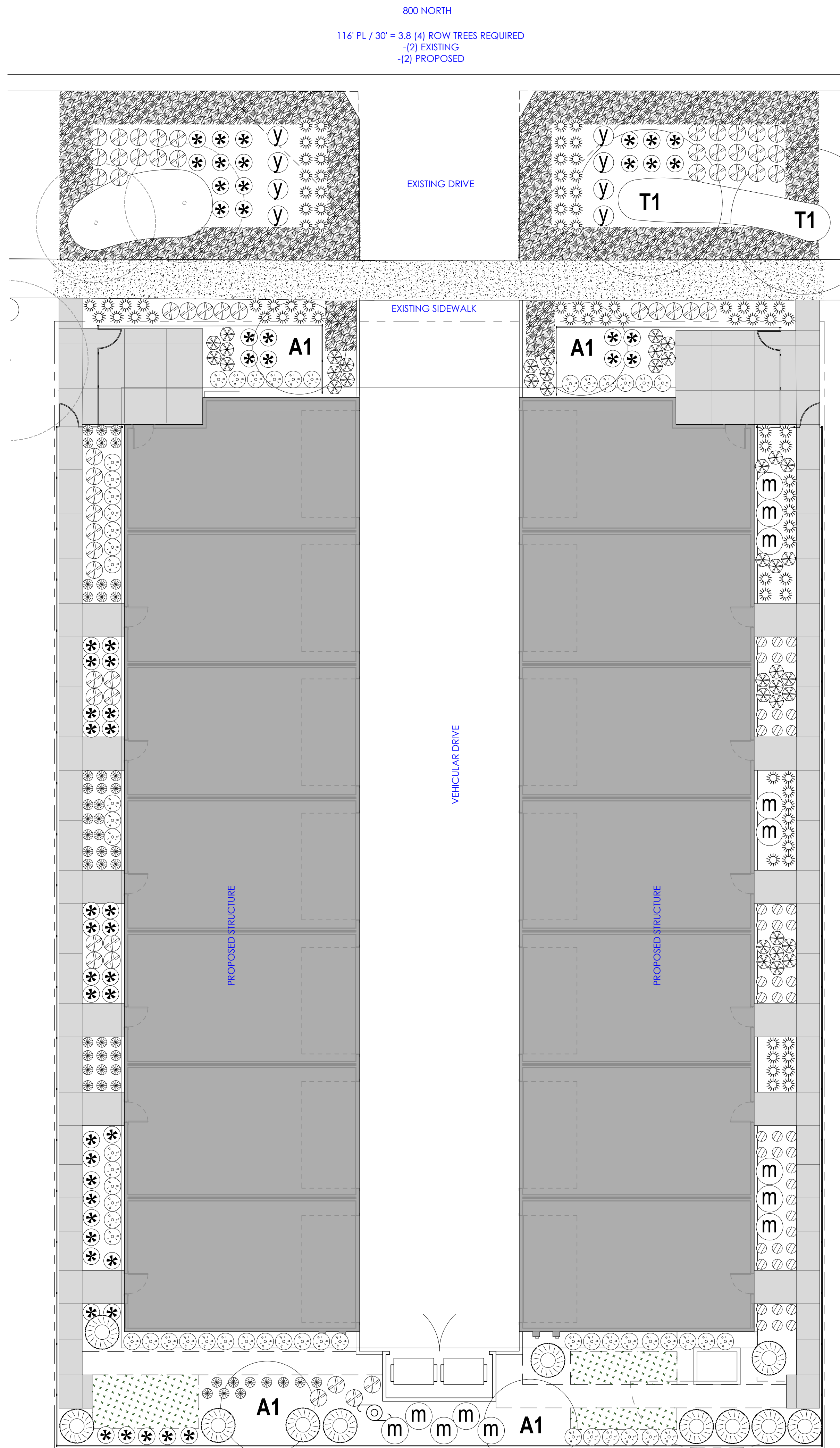
SHEET SCALE: **As indicated**

SHEET NAME: \_\_\_\_\_



LANDSCAPE SITE PLAN

SHEET NUMBER: **L1-01**



**355x800 PLANTING SCHEDULE**

TREES						
SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE / NOTES
A1	4	1.5" CAL.	ACER TATARICUM 'HOT WINGS'	TATARIAN MAPLE	15'x15'	TD3 -
T1	2	2" CAL.	TILIA TOMENTOSA	SILVER LINDEN	50'x25'	TD4 URBAN FORESTRY TREE LARGE PARKWAY
GROUNDCOVERS / VINES						
SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE / NOTES
	1,180 SF		THYMUS PSEUDOLANGUINOSUS	WOOLY THYME	4'x18"	GV2 FULL SUN // LIGHT SHADE
PERENNIALS						
SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE / NOTES
	47	1 GAL.	ALCHEMILLA MOLLIS	LADY'S MANTLE	12'x12"	P3 PART SHADE // FULL SHADE
	40	1 GAL.	AMORPHA 'NANA'	DWARF FALSE INDIGO	30'x30"	P2 FULL SUN // PART SHADE
	56	3 GAL.	GAURA LINDHEIMERI	WHIRLING BUTTERFLIES	36'x30"	P1 FULL SUN
DECIDUOUS SHRUBS						
SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE / NOTES
	55	5 GAL.	ARONIA M. 'LOW SCRAPE HEDGER'	DWARF CHOKEBERRY HEDGE	48'x30"	SD3 FULL SUN // PART SHADE
	13	3 GAL.	MAHONIA A. 'COMPACTA'	COMPACT OREGON GRAPE	48'x48"	SD3 FULL SHADE // PART SUN
EVERGREEN SHRUBS						
SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE / NOTES
	8	5 GAL.	YUCCA FILAMENTOSA 'COLORGUARD'	ADAM'S NEEDLE VARIEGATED	36'x36"	SEO FULL SUN
	11	5 GAL.	TAXUS x MEDIA 'DENSIFORMIS'	DENSE YEW	42'x60"	SE3 PART SUN // SHADE
ORNAMENTAL GRASSES						
SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE / NOTES
	90	1 GAL.	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	48'x24"	TW1 SUN TO LIGHT SHADE
	52	1 GAL.	FESTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	12'x12"	TW1 FULL SUN
	62	1 GAL.	MISCANTHUS SINENSIS 'LITTLE ZEBRA'	DWARF ZEBRA GRASS	40'x30"	TW2 PART SHADE // SUN

**LANDSCAPE PLANTING NOTES**

- CONTRACTOR TO BE RESPONSIBLE FOR PROVIDING 12" OF TOPSOIL IN PLANTING AREAS
  - VERIFY ON SITE-AVAILABLE TOPSOIL FOR USE
- CONTRACTOR IS RESPONSIBLE TO FURNISH PLANT MATERIAL THAT IS PEST AND DISEASE FREE AND TO MAINTAIN AND WARRANTY PLANT MATERIAL THROUGHOUT CONSTRUCTION AND MAINTENANCE PERIOD
- CONTRACTOR TO WARRANTY PLANT MATERIAL, TYPICALLY FOR A (1) YEAR PERIOD OF TIME
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING QUANTITIES AND FURNISHING ALL PLANT MATERIALS TO ENSURE INTENDED COVERAGE. CONTRACTOR SHALL CONTACT OWNER AND/OR LANDSCAPE ARCHITECT FOR APPROVAL OF CHANGES IN QUANTITIES OR SPECIES
- DEPENDING ON PLANT AVAILABILITY, CONTRACTOR SHOULD ATTEMPT TO FIND PLANT MATERIAL OF LIKE KIND THAT IS APPROXIMATELY THE SAME HEIGHT AND GROWTH HABIT. HOWEVER, ALL VARIETIES SHALL MATCH EACH OTHER WHEN INSTALLED I.E. NO PARTIAL PLANTING SUBSTITUTIONS. IF A NEW VARIETY IS APPROVED, THE SAME PLANT VARIETY SHALL BE USED THROUGHOUT THE ENTIRETY OF THE PROJECT SCOPE
- DOUBLE STAKE ALL TREES UNDER 2" CALIPER UNTIL MATURITY
- ALL SHRUBS AND TREES TO CONTAINER GROWN OR BE BALLED AND BURLAPPED
- TREES SHALL NOT BE PLANTED LESS THAN 4'-0" FROM CURBS OR HARD SURFACE AREAS UNLESS A ROOT BARRIER IS INSTALLED NEXT TO HARDSCAPED SURFACE.
- ALL PLANTING SHALL ACCOUNT FOR SPOILS TO PROVIDE A SMOOTH TRANSITION
- INSTALL COMMERCIAL GRADE WEED BARRIER FABRIC TO ALL PLANTING AREAS AND PLANTER BEDS WITH 6" LANDSCAPE STAPLES PER INDUSTRY STANDARDS. NO WEED BARRIER TO BE VISIBLE
- ALL PLANT MATERIALS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY ASSOCIATION, INC.
- FERTILIZE ALL SHRUBS AND TREES WITH FERTILIZER TABLETS

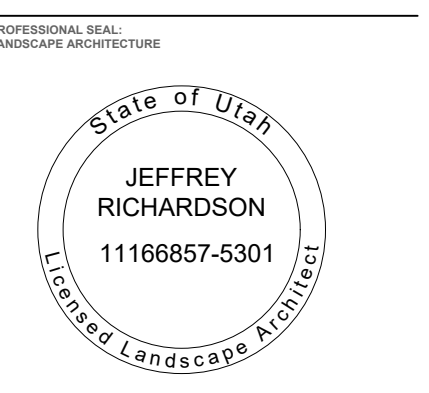


454 N 600 W, SLC, UT 84116  
 e: howdy@divelept.com  
 p: 801-680-4485  
 www.divelept.com

**355 W x 800 N**

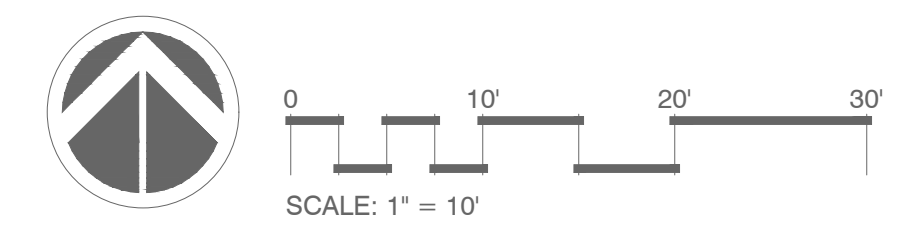
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SHEET NAME:	

LANDSCAPE  
 PLANTING  
 PLAN



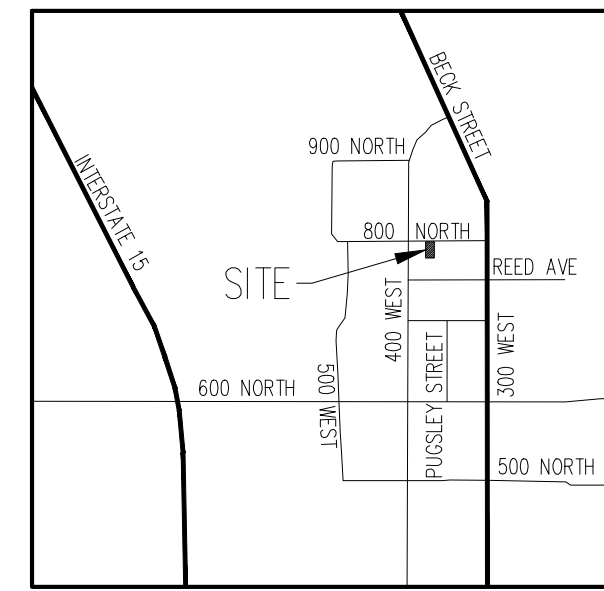
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**L3-01**



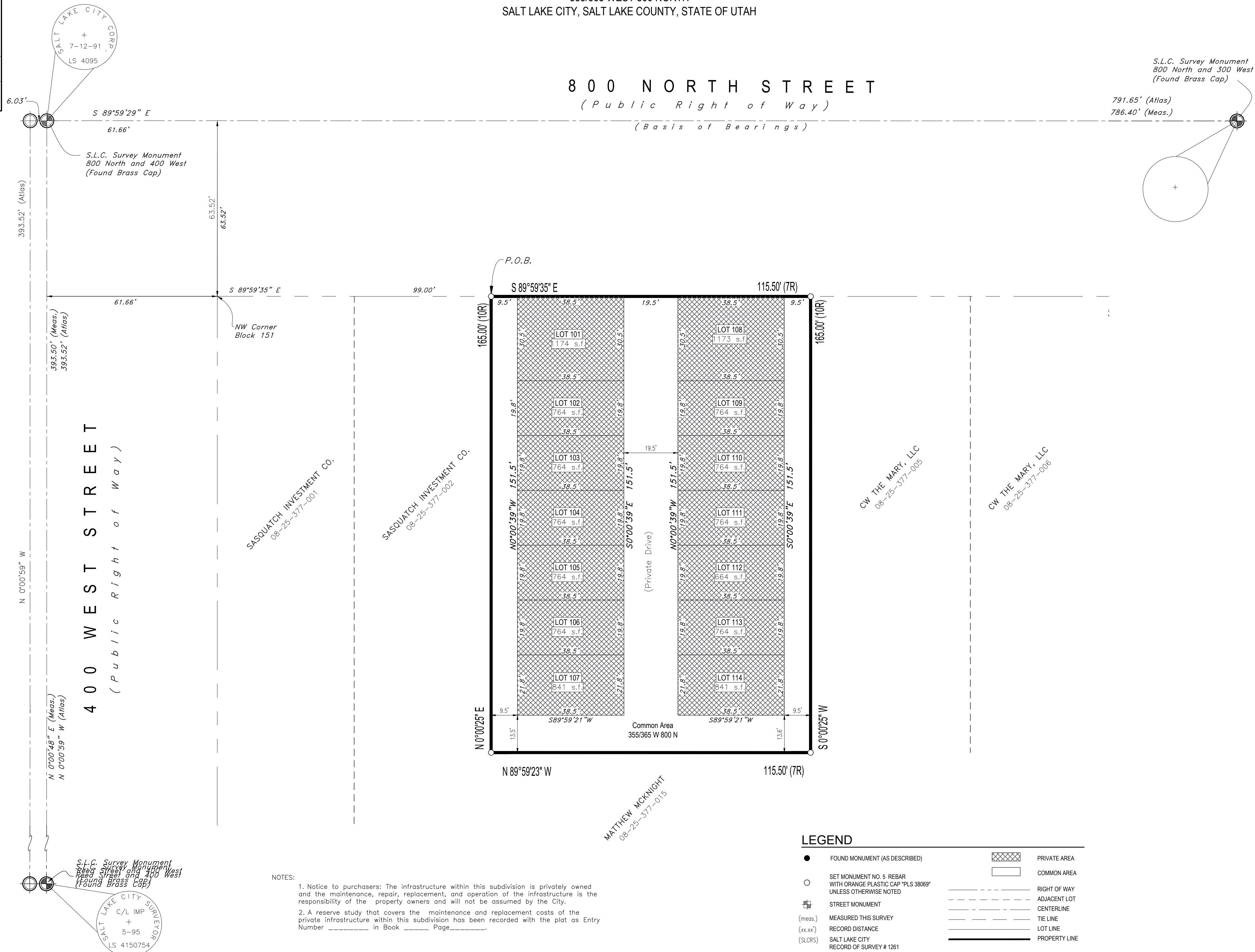
# LARADEAN TOWNHOMES SUBDIVISION

LOTS 18 & 19, BLOCK 1, FRANKLIN SUBDIVISION OF  
BLOCK 46, PLAT "C", SALT LAKE CITY SURVEY  
355/365 WEST 800 NORTH  
SALT LAKE CITY, SALT LAKE COUNTY, STATE OF UTAH

800 NORTH STREET  
(Public Right of Way)  
(Basis of Bearings)



VICINITY MAP  
NOT TO SCALE



### SURVEYOR'S CERTIFICATE

I, Jeron R. Atkin II, do hereby certify that I am a Professional Land Surveyor and that I hold Certificate No. 5992544 in accordance with Title 58, Chapter 22, of Utah State Code. I further certify by authority of the owner(s), that I have completed a survey of the property described in this plat in accordance with Section 17-23-17, of said Code and have subdivided said tract of land into lots, blocks, streets, and easements, hereafter to be known as LARADEAN TOWNHOMES SUBDIVISION and the same has or will be correctly surveyed, staked, and monumented on the ground as shown on this plat, and that this plat is true and correct.

Date of Plat: OCTOBER 4, 2021

Signature: \_\_\_\_\_

Registration No.: 5992544  
Galloway  
515 South 700 East, Suite 3F  
Salt Lake City, UT 84102  
(801) 953-1357

### BOUNDARY DESCRIPTION

A PART OF LOT 5, BLOCK 151, PLAT "A", SALT LAKE CITY SURVEY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF SAID LOT 5 WHICH IS 99.00 FEET (6 RODS) SOUTH 89°59'35" EAST FROM THE NORTHWEST CORNER OF SAID BLOCK 151; THENCE SOUTH 89°59'35" EAST 115.50 FEET (7 RODS); THENCE SOUTH 0°00'25" WEST 165.00 FEET (10 RODS); THENCE NORTH 89°59'23" WEST 115.00 FEET (7 RODS); THENCE NORTH 0°00'25" EAST 165.00 FEET (10 RODS) TO THE POINT OF BEGINNING.

CONTAINS: 19,057 SQ. FT. OR 0.437 ACRES MORE OR LESS

### NARRATIVE

THE PURPOSE OF THIS SUBDIVISION IS TO COMBINE 2 LOTS FROM THE FRANKLIN SUBDIVISION OF BLOCK 46, PLAT "C" AND CREATE 10 TOWNHOME LOTS.

BASIS OF BEARING: BEARINGS ARE BASED ON TWO FOUND STREET MONUMENTS IN JEREMY STREET AT THE INTERSECTIONS OF 100 SOUTH AND 200 SOUTH STREETS. A LINE BEARING NORTH 0°00'32" WEST BETWEEN THESE MONUMENTS WAS USED AS THE BASIS OF BEARING FOR THIS SURVEY.

THE MINIMUM LINEAR CLOSURE OF THE BOUNDARY OF THIS SUBDIVISION IS WITHIN 1:15,000.

### OWNER'S CONSENT TO RECORD

GUADALUPE CONDOS, LLC, THE OWNER OF THE DESCRIBED TRACT OF LAND TO BE HEREAFTER KNOWN AS

### LARADEAN TOWNHOMES SUBDIVISION

HEREBY CONSENTS AND GIVE APPROVAL TO THE RECORDING OF THIS PLAT FOR ALL PURPOSES SHOWN HEREIN. THERE ARE NO STREETS, EASEMENTS OR OTHER PROPERTY REFLECTED ON THIS PLAT TO BE DEDICATED TO THE PUBLIC.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

GUADALUPE CONDOS, LLC

BY: \_\_\_\_\_

ITS: \_\_\_\_\_

### NOTARY ACKNOWLEDGMENT

STATE OF UTAH  
COUNTY OF SALT LAKE

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR 20\_\_ BEFORE ME, \_\_\_\_\_ THE  
A NOTARY PUBLIC, PERSONALLY APPEARED \_\_\_\_\_ THE  
PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO  
IN THE FOREGOING OWNER'S CONSENT TO RECORD REGARDING THE MARMALADE TOWNHOMES  
SUBDIVISION AND WAS SIGNED BY THEM.

COMMISSION NUMBER \_\_\_\_\_  
MY COMMISSION EXPIRES \_\_\_\_\_

PRINT NAME: \_\_\_\_\_  
A NOTARY PUBLIC COMMISSIONED IN UTAH

### LARADEAN TOWNHOMES SUBDIVISION

LOTS 18 & 19, BLOCK 1, FRANKLIN SUBDIVISION OF  
BLOCK 46, PLAT "C", SALT LAKE CITY SURVEY  
355/365 WEST 800 NORTH  
SALT LAKE CITY, SALT LAKE COUNTY, STATE OF UTAH

PREPARED BY

**Galloway**

515 South 700 East, Suite 3F  
Salt Lake City, UT 84102  
801.953.1357 • GallowayUS.com

### LEGEND

- FOUND MONUMENT (AS DESCRIBED)
- SET MONUMENT NO. 5 REBAR WITH ORANGE PLASTIC CAP "PLS 38069" UNLESS OTHERWISE NOTED
- ⊕ STREET MONUMENT
- (meas.) MEASURED THIS SURVEY
- (xx.xx) RECORD DISTANCE
- (S,ORS) SALT LAKE CITY RECORD OF SURVEY # 1261
- ▨ PRIVATE AREA
- COMMON AREA
- RIGHT OF WAY
- - - ADJACENT LOT
- - - CENTERLINE
- - - TIE LINE
- \_\_\_\_\_ LOT LINE
- \_\_\_\_\_ PROPERTY LINE

### NOTES:

- Notice to purchasers: The infrastructure within this subdivision is privately owned and the maintenance, repair, replacement, and operation of the infrastructure is the responsibility of the property owners and will not be assumed by the City.
- A reserve study that covers the maintenance and replacement costs of the private infrastructure within this subdivision has been recorded with the plat as Entry Number \_\_\_\_\_ in Book \_\_\_\_\_ Page \_\_\_\_\_.

CITY PUBLIC UTILITIES DEPT.  
APPROVED AS TO SANITARY SEWER AND  
WATER DETAILS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

SALT LAKE COUNTY  
HEALTH DEPARTMENT  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

CITY ENGINEERING DIVISION  
I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE  
AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE.

CITY PLANNING DIRECTOR  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ BY THE SALT  
LAKE CITY PLANNING COMMISSION.

CITY ATTORNEY  
APPROVED AS TO FORM THIS \_\_\_\_\_  
DAY OF \_\_\_\_\_, 20\_\_.

CITY APPROVAL  
PRESENTED TO SALT LAKE CITY THIS \_\_\_\_\_  
DAY OF \_\_\_\_\_, 20\_\_  
AND IT IS HEREBY APPROVED.

SALT LAKE COUNTY RECORDER  
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT  
THE REQUEST OF \_\_\_\_\_

NUMBER \_\_\_\_\_  
ACCOUNT \_\_\_\_\_  
SHEET \_\_\_\_\_  
OF \_\_\_\_\_ SHEETS

SALT LAKE CITY PUBLIC UTILITIES DIRECTOR

S. L. COUNTY HEALTH DEPARTMENT

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
CITY SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

PLANNING DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

SALT LAKE CITY ATTORNEY

SALT LAKE CITY MAYOR \_\_\_\_\_  
SALT LAKE CITY RECORDER \_\_\_\_\_

DATE: \_\_\_\_\_ TIME: \_\_\_\_\_ BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_  
FEE \_\_\_\_\_ SALT LAKE COUNTY RECORDER